

THI Sure Shot Home Inspection Report



2024 Anywhere Dr
Nashville, TN 37216

Prepared for: Happy Client

Prepared by: Tennessee Home Inspectors LLC



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Tennessee Home Inspectors LLC

GENERAL INFORMATION

This Home Inspection Report was conducted by:
Inspector: Collin Minchey TN HI Lic. # 1495

Signature
Exclusively for Happy Client.

- OVERVIEW -

This is an average quality 16 year (approx. age) old Occupied Single family. As with all homes, maintenance is needed and improvements to the systems of the home will eventually be necessary.

For the purpose of this report, it is assumed that the house faces West.

Cloudy, Rainy weather conditions prevailed at the time of the inspection.
The Estimated outside temperature was 80 degrees F.
Cloudy weather has been experienced in the days leading up to the inspection.

- RATINGS KEY -

- Repair - An element of the home that is damaged, missing or demonstrates improper installation.
- Monitor - An element of the home that should be observed over time as future repair is probable.
- Improve - A desirable enhancement of an element that was not required, or developed, at installation.
- Consult - An inquiry that should be made to the home owner or a trade specialist for further pertinent information.
- Safety - An element of the home with unsafe conditions in need of timely repair.
- Note - A benign, yet pertinent, observation about the property.

- SCOPE OF THE INSPECTION -

The purpose of the inspection to put a home buyer in a better position to make an educated buying decision in regards to the condition of the property. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Permitting history is not verified and is outside the scope of this report.

This inspection is only visual in nature. A representative sample of building components is viewed and operated in accessible areas at the time of the inspection. No specialized equipment or dismantling of building components is performed. Thus, this inspection is not "technically exhaustive".

The report does not address environmental hazards including: lead-based paint, radon, asbestos, cockroaches, rodents, pesticides, treated lumber, fungus, mercury, carbon monoxide, or other similar environmental hazards. Determination of environmental hazards is outside the scope of this inspection. If environmental hazards are suspected, a specialist in the field should be consulted for positive identification and remediation strategies.

Inspector Name Collin Minchey
Company Name Tennessee Home Inspectors LLC

Please refer to The State of Tennessee Division of Regulatory Boards Rule # 0780-5-12-.10 Standards of Practice and the Inspection Authorization and Agreement for a full explanation of the scope of the inspection.

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EXTERIOR

Wall Cladding	Vinyl Siding
Eaves, Soffits, Fascias	Metal Wrapped Wood, Vinyl
Window Frames	Vinyl
Doors	Metal
Overhead Garage Doors	None

- COMMENTS & OBSERVATIONS -

General Perspective

The exterior of the home was in generally good condition with typical maintenance required.

Wall Cladding

Repair - Loose siding was observed.

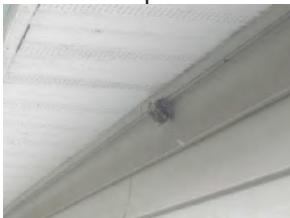


Repair - Damaged siding was observed.



Eaves, Soffits, & Fascias

Repair - Sizable wasp nest was observed on the backside of the house at top eave



Repair - Openings were observed in the eaves.



Windows and Doors

EXTERIOR (Continued)

Repair - Missing or damaged window screens were observed. They should be replaced or repaired as necessary.



Garage

Note - Detached outbuilding was not inspected and is considered outside the scope of a standard home inspection.



- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * A representative sample of exterior components was inspected rather than every occurrence of components.
- * The presence of safety glazing in doors and windows is not confirmed.
- * A representative sample of exterior components was inspected rather than every occurrence of components.
- * Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- * The presence of and/or proper operation of garage door operator remote control transmitters is not confirmed.

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GROUNDS

Lot	Mostly Level
Driveway	Gravel
Walkway	None
Porch, Patio	Wood wraparound
Deck	Wood
Fence	Chain Link, Wood, Post and Wire
Retaining Wall	none

- COMMENTS & OBSERVATIONS -

General Perspective

The lot and the articles related to the property grounds were in generally good condition with typical maintenance required.

Porch / Patio

Repair - Underpinning was damaged at the porch.



Repair - Trim was observed missing in multiple spots of post

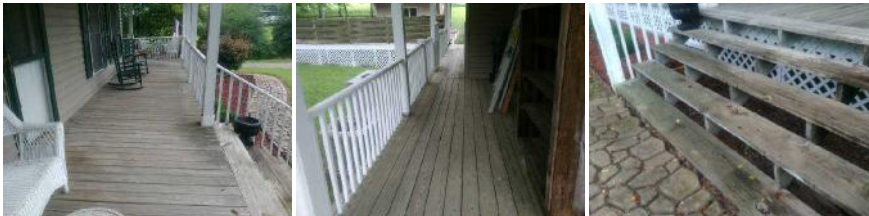


Repair - rotted wood was observed on the wrap around porch.



Deck

Repair - The deck surface was unfinished or deteriorated.



GROUNDS (Continued)

Repair - Deck steps show signs of deterioration



Landscaping

Repair -, Note - The plumbing clean out cap was missing at the exterior..



- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * A representative sample of exterior components was inspected rather than every occurrence of components.
- * The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- * Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- * Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities) are outside the scope of this inspection.
- * Detached buildings or structures are outside the scope of this inspection

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STRUCTURE

Foundation	Poured concrete
Columns	Poured Concrete Pier
Floor	I-Joists
Sub-Floor	Oriented Strand Board
Walls	Wood Framed
Ceiling	Rafters
Roof	Trusses, OSB Sheathing

- COMMENTS & OBSERVATIONS -

General Perspective

Significant evidence of movement within the building was not observed suggesting stability of the structure.

Roof

Repair - A loose 2 x 4 was observed in attic .



Crawl Space

Repair - A plastic moisture barrier is not present in the crawlspace.



Repair - Moisture was observed in the crawl space as damp soil and efflorescence around foundation walls.





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STRUCTURE (Continued)

- PERTINENT LIMITATIONS -

Assessing the structural integrity of a building is beyond the scope of a standard home inspection. A certified licensed structural Professional Engineer (P.E.) is recommended where there are structural concerns about the building.

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Structural components concealed behind finished surfaces could not be inspected.
- * Only a representative sampling of visible structural components were inspected.
- * Furniture and/or storage restricted access to some structural components.
- * Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection

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ROOF

Vent Types	Soffit, Gable
Method of Roof Inspection	Walked on roof
Surface Type	Asphalt/Composite Shingles
Approximate Age (Years)	8- 10 years
Number of Layers	1
Gutter & Downspout Materials	Aluminum
Gutter Discharge	Downspouts discharge above grade
Chimneys	None
Flashings	Not Visible

General Perspective

The roof coverings were considered to be in generally good condition.

- COMMENTS & OBSERVATIONS -

Sloped Roofing

Repair - Moss was observed growing on roof shingles on left side of the home.



Repair - Siding in need of pressure washing



Gutters and Downspouts

Repair - Leaks were observed in the gutters. In multiple locations around home



Repair - The gutters were clogged.



Tennessee Home Inspectors LLC**ROOF (Continued)**

Repair - Damaged or loose downspouts were observed.

**- PERTINENT LIMITATIONS -**

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- * Evidence of prior leaks may be disguised by interior finishes.
- * Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- * Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- * Roof inspection may be limited by access, condition, weather, or other safety concerns.
- * Inspecting attached accessories including solar systems, antennae, and lightning arrestors is outside the scope of this inspection.

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ELECTRICAL

Main Electrical Service	Under Ground 200 Amps
Main Disconnect Panel	200 AMP W/ Breakers Located: Exterior, Utility Room
Earth Ground	Ground Rod (not visible)
Wiring	Non-Metallic Cable "Romex"
Switches and Outlets	Grounded
GFCI / AFCI	Kitchen Counters, Exterior, Garage, Bathrooms
Smoke Alarms	Hallways, Bedrooms, Bonus room

- COMMENTS & OBSERVATIONS -

General Perspective

Inspection of the electrical system revealed the need for repairs, as is typical of most homes. A licensed electrician should be consulted to address the deficiencies listed in the report.

Main Disconnect Panel

Repair - Sharp ended screws were observed at the main disconnect electrical panel cover.



Wiring

Repair - Extension cords were observed as permanent electrical wiring.



Repair - Improper and loose electrical connections were observed.



Repair - Abandoned electrical wiring was observed in the attic.



ELECTRICAL (Continued)

Repair - All junction boxes should be fitted with cover plates.



Repair - Exposed wiring cable was observed on interior/exterior finishes.



Outlets

Repair - A GFCI electrical outlet was inoperable when 1st encountered and would not reset.



Repair - Ungrounded outlets were observed in the dining room.



Repair - An electrical outlet was damaged.



Light Fixtures

Repair - A loose light fixture was observed.





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ELECTRICAL (Continued)

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Electrical components concealed behind finished surfaces are not inspected.
- * Only a representative sampling of outlets and light fixtures were tested.
- * Furniture and/or storage restricted access to some electrical components which may not be inspected.
- * The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, telephone, security, cable TN, intercoms, built in vacuum equipment, and other components which are not part of the primary electrical power distribution system.

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PLUMBING

Service Piping	PVC
Water Shut Off Location	Water Heater, Crawlspace
Interior Supply Piping	PVC
Drain and Vent Piping	PVC
Gas Shut Off Location	none

- Water Heater Data -

Water Heater Manufacturer	Rheem
Build Date	2015
Model Number	XE38S06ST45U1
Serial Number	Q391538074
Size (approximate gallons)	40
Type	Electric Element
Water Heater Manufacturer	Whirlpool
Build Date	Date Plate Illegible
Size (approximate gallons)	40
Type	Electric Element

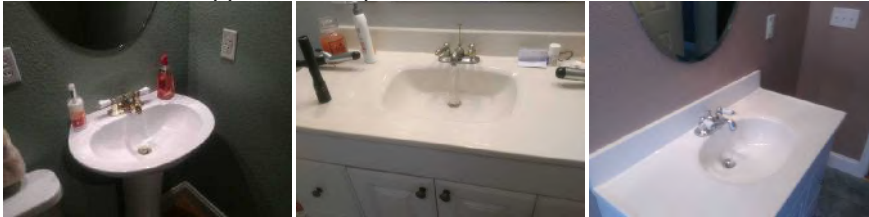
- COMMENTS & OBSERVATIONS -

General Perspective

The plumbing system required some typical minor improvements.

Fixtures

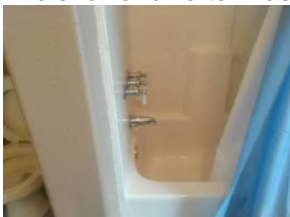
Repair - The sink drain stopper was inoperable. Downstairs hall bath



Repair - The tub drain stopper was inoperable.



Repair - The shower diverter was in operable upstairs hall bath room



PLUMBING (Continued)

Water Heater

Repair - The discharge piping serving the Temperature and Pressure Relief (TPR) Valve for the water heater was missing.



Repair - An active water leak was observed at the water heater casing.



- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- * Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- * Clothes washing machine connections are not inspected.
- * Interiors of flues or chimneys which are not readily accessible are not inspected.
- * Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, anti-siphon devices, automatic safety controls, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

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HVAC

Duct Work

Insulated Metal Trunk w/ Flex branch lines

- Data By System -

Serviced Area	1st Level
System Type	Package Unit with Heat Pump
Temp. Fall (Delta T in Deg. F)	15-20
Temp. Rise (Delta T in Deg. F)	Not Measured
Exterior Unit Manufacturer	Carrier
Build Date	2009
Model Number	50X2042311TP
Serial Number	0905G31388

Serviced Area	2nd Level
System Type	Split System Heat Pump
Temp. Fall (Delta T in Deg. F)	15-20
Temp. Rise (Delta T in Deg. F)	Not Measured
Exterior Unit Manufacturer	York
Build Date	2007
Model Number	YHJR30S41S3A
Serial Number	W1DO778376
Interior Unit Manufacturer	York
Build Date	2007
Model Number	F6FP030HH06T3XH
Serial Number	W1D038678

- COMMENTS & OBSERVATIONS -

General Perspective

The hvac system responded properly to standard controls.

Air Conditioner / Heat Pump

Monitor - The heat pump was operated in heat mode for a very limited time only due to the high exterior temperature. Operation in heating mode at these temperatures can cause compressor failure.

Repair - Rain shield was observed missing



Repair - Electrical connection on panel was observed loose



HVAC (Continued)

Repair - The outdoor condensing unit of the air conditioning system were dirty.



Repair - A condensate line trap was not present at the HVAC air handler.



Repair - HVAC condensation drain drains into gutter on top of house



Ductwork

Repair - The HVAC duct work was touching the ground in the crawlspace.



- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Window mounted HVAC units are not inspected.
- * The cooling and heating supply adequacy or distribution balance are not inspected.
- * The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.
- * The interior of flues or chimneys which are not readily accessible are not inspected.
- * The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- * Solar space heating equipment/systems are not inspected.
- * Automatic safety controls, humidifiers, electronic air filters, and air purifiers are not inspected.

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INTERIOR

Walls and Ceilings	Drywall
Floors	Carpet, Tile, Wood
Windows	Double/Single Hung
Doors	Wood-Hollow Core
Fireplaces	None

- COMMENTS & OBSERVATIONS -

General Perspective

The interior was in generally good conditions with standard wear and tear visible.

Walls and Ceilings

Repair - Minor wall board corner bead cracks were noted and are typical for a home of this age and style.



Repair - Damage to the interior wall board finish was observed.

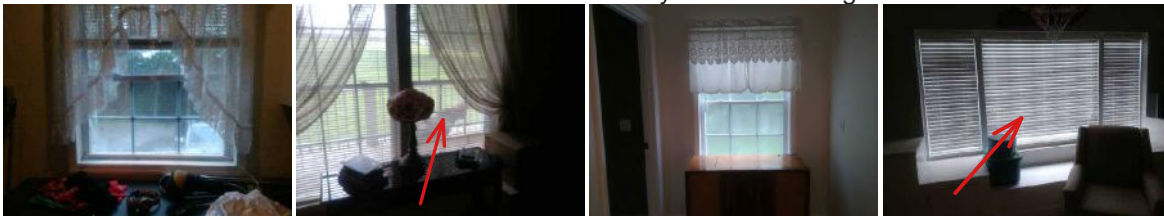


Repair - Unfinished Chase was observed



Windows

Repair - Condensation or haziness was observed between the layers of window glass at several locations.



INTERIOR (Continued)

Repair - Temper proof marks were not observed where required at windows.

**Doors**

Repair - Doors were observed to rub or contact each other.



Repair - Missing hinge screws were observed.



Repair -

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- * Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Assessing the quality and condition of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture.

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INSULATION

Attic Insulation	16 inches of loose insulation (Approx.).
Exterior Wall Insulation	Not Visible
Crawl Space Insulation	None Visible
Moisture Barrier	Incomplete Plastic in Crawlspace

- COMMENTS & OBSERVATIONS -

General Perspective
The insulation levels are typical for a home of this age.

- PERTINENT LIMITATIONS -

- As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:
- * Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
 - * Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
 - * An analysis of indoor air quality is not part of our inspection.
 - * Any estimates of insulation R values or depths are rough average values.

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APPLIANCES

Kitchen Appliances	Electric Range, Dishwasher, , Refrigerator/ Freezer
Laundry Facility	120 Volt Washer Circuit, 240 Volt Dryer Circuit, Dryer Vent to the Exterior, Hot and Cold Water Hook-Up, Waste Standpipe for Washer

- COMMENTS & OBSERVATIONS -

General Perspective
The appliances inspected operated properly.

Kitchen Range

Repair - The kitchen range anti-tip device is missing and should be installed.



Repair - A burner on the kitchen range is nonfunctional and should be made operable.



Exhaust Hood

Repair - No exhaust hood was present over range.



Refrigerator/Freezer

Repair - The refrigerator ice maker was off at the time of inspection. Proper operation of the unit should be demonstrated.



Dishwasher

Repair - The dishwasher waste water discharge hose should have a high loop installed under the kitchen sink.

APPLIANCES (Continued)

((Rating)) (continued)



Washer/Dryer

Repair - The clothes dryer exhaust vent is serviced by a flexible transition hose discharging into the crawl space. This hoses should only be used in the laundry room to connect the dryer to the exhaust vent system. The exhaust vent system should be of 4" rigid metal duct with an auto closing termination louver at the exterior. Leant clean up should be preformed in the crawlspace.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Thermostats, timers and other specialized features and controls are not tested.
- * 220 volt clothes dryer outlets are inspected visually only.
- * The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Appliances are tested by turning them on for a short period of time only. It is strongly recommended that a Homeowners Warranty or service contract be purchased to cover the operation of appliances. It is further recommended that appliances be tested during any scheduled pre-closing walk through. Like any mechanical device, appliances can malfunction at any time (including the day after taking possession of the house).

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