

# THI Sure Shot Home Inspection Report



2024 Anywhere Dr  
Nashville, TN 37216

Prepared for: Happy Client

Prepared by: Tennessee Home Inspectors LLC



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Tennessee Home Inspectors LLC

GENERAL INFORMATION

This Home Inspection Report was conducted by:  
Inspector: Collin Minchey TN HI Lic. # 1495

Signature  
Exclusively for Happy Client.

- OVERVIEW -

This is an average quality 16 year (approx. age) old Occupied Single family. As with all homes, maintenance is needed and improvements to the systems of the home will eventually be necessary.

For the purpose of this report, it is assumed that the house faces West.

Cloudy, Rainy weather conditions prevailed at the time of the inspection.  
The Estimated outside temperature was 80 degrees F.  
Cloudy weather has been experienced in the days leading up to the inspection.

- RATINGS KEY -

- Repair - An element of the home that is damaged, missing or demonstrates improper installation.
- Monitor - An element of the home that should be observed over time as future repair is probable.
- Improve - A desirable enhancement of an element that was not required, or developed, at installation.
- Consult - An inquiry that should be made to the home owner or a trade specialist for further pertinent information.
- Safety - An element of the home with unsafe conditions in need of timely repair.
- Note - A benign, yet pertinent, observation about the property.

- SCOPE OF THE INSPECTION -

The purpose of the inspection to put a home buyer in a better position to make an educated buying decision in regards to the condition of the property. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Permitting history is not verified and is outside the scope of this report.

This inspection is only visual in nature. A representative sample of building components is viewed and operated in accessible areas at the time of the inspection. No specialized equipment or dismantling of building components is performed. Thus, this inspection is not "technically exhaustive".

The report does not address environmental hazards including: lead-based paint, radon, asbestos, cockroaches, rodents, pesticides, treated lumber, fungus, mercury, carbon monoxide, or other similar environmental hazards. Determination of environmental hazards is outside the scope of this inspection. If environmental hazards are suspected, a specialist in the field should be consulted for positive identification and remediation strategies.

Inspector Name Collin Minchey  
Company Name Tennessee Home Inspectors LLC

Please refer to The State of Tennessee Division of Regulatory Boards Rule # 0780-5-12-.10 Standards of Practice and the Inspection Authorization and Agreement for a full explanation of the scope of the inspection.

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**EXTERIOR**

<b>Wall Cladding</b>	Vinyl Siding
<b>Eaves, Soffits, Fascias</b>	Metal Wrapped Wood, Vinyl
<b>Window Frames</b>	Vinyl
<b>Doors</b>	Metal
<b>Overhead Garage Doors</b>	None

**- COMMENTS & OBSERVATIONS -**

**General Perspective**  
The exterior of the home was in generally good condition with typical maintenance required.

**Wall Cladding**

**Repair -** Loose siding was observed.

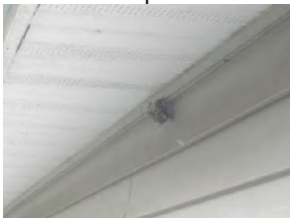


**Repair -** Damaged siding was observed.



**Eaves, Soffits, & Fascias**

**Repair -** Sizable wasp nest was observed on the backside of the house at top eave



**Repair -** Openings were observed in the eaves.



**Windows and Doors**

## EXTERIOR (Continued)

**Repair -** Missing or damaged window screens were observed. They should be replaced or repaired as necessary.



### Garage

**Note -** Detached outbuilding was not inspected and is considered outside the scope of a standard home inspection.



### - PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* A representative sample of exterior components was inspected rather than every occurrence of components.
- \* The presence of safety glazing in doors and windows is not confirmed.
- \* A representative sample of exterior components was inspected rather than every occurrence of components.
- \* Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- \* The presence of and/or proper operation of garage door operator remote control transmitters is not confirmed.

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**GROUNDS**

<b>Lot</b>	Mostly Level
<b>Driveway</b>	Gravel
<b>Walkway</b>	None
<b>Porch, Patio</b>	Wood wraparound
<b>Deck</b>	Wood
<b>Fence</b>	Chain Link, Wood, Post and Wire
<b>Retaining Wall</b>	none

**- COMMENTS & OBSERVATIONS -**

**General Perspective**

The lot and the articles related to the property grounds were in generally good condition with typical maintenance required.

**Porch / Patio**

**Repair -** Underpinning was damaged at the porch.



**Repair -** Trim was observed missing in multiple spots of post

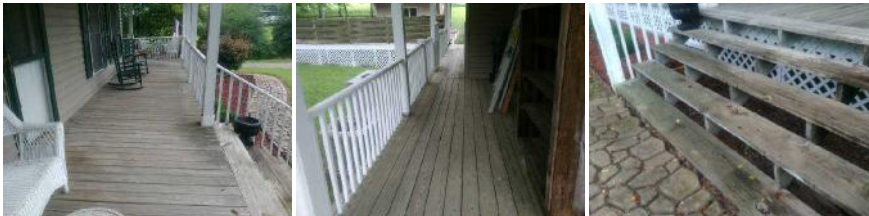


**Repair -** rotted wood was observed on the wrap around porch.



**Deck**

**Repair -** The deck surface was unfinished or deteriorated.





## GROUNDS (Continued)

**Repair -** Deck steps show signs of deterioration



### Landscaping

**Repair -, Note -** The plumbing clean out cap was missing at the exterior..



### - PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* A representative sample of exterior components was inspected rather than every occurrence of components.
- \* The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- \* Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- \* Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities) are outside the scope of this inspection.
- \* Detached buildings or structures are outside the scope of this inspection

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**STRUCTURE**

<b>Foundation</b>	Poured concrete
<b>Columns</b>	Poured Concrete Pier
<b>Floor</b>	I-Joists
<b>Sub-Floor</b>	Oriented Strand Board
<b>Walls</b>	Wood Framed
<b>Ceiling</b>	Rafters
<b>Roof</b>	Trusses, OSB Sheathing

**- COMMENTS & OBSERVATIONS -**

**General Perspective**

Significant evidence of movement within the building was not observed suggesting stability of the structure.

**Roof**

**Repair -** A loose 2 x 4 was observed in attic .

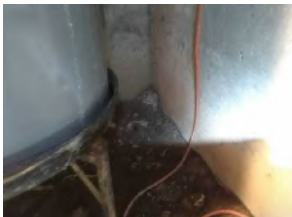


**Crawl Space**

**Repair -** A plastic moisture barrier is not present in the crawlspace.



**Repair -** Moisture was observed in the crawl space as damp soil and efflorescence around foundation walls.







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**STRUCTURE (Continued)**

**- PERTINENT LIMITATIONS -**

Assessing the structural integrity of a building is beyond the scope of a standard home inspection. A certified licensed structural Professional Engineer (P.E.) is recommended where there are structural concerns about the building.

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Structural components concealed behind finished surfaces could not be inspected.
- \* Only a representative sampling of visible structural components were inspected.
- \* Furniture and/or storage restricted access to some structural components.
- \* Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection

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**ROOF**

<b>Vent Types</b>	Soffit, Gable
<b>Method of Roof Inspection</b>	Walked on roof
<b>Surface Type</b>	Asphalt/Composite Shingles
<b>Approximate Age (Years)</b>	8- 10 years
<b>Number of Layers</b>	1
<b>Gutter &amp; Downspout Materials</b>	Aluminum
<b>Gutter Discharge</b>	Downspouts discharge above grade
<b>Chimneys</b>	None
<b>Flashings</b>	Not Visible

**General Perspective**

The roof coverings were considered to be in generally good condition.

**- COMMENTS & OBSERVATIONS -**

**Sloped Roofing**

**Repair -** Moss was observed growing on roof shingles on left side of the home.



**Repair -** Siding in need of pressure washing



**Gutters and Downspouts**

**Repair -** Leaks were observed in the gutters. In multiple locations around home



**Repair -** The gutters were clogged.



## ROOF (Continued)

**Repair -** Damaged or loose downspouts were observed.



### - PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- \* Evidence of prior leaks may be disguised by interior finishes.
- \* Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- \* Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- \* Roof inspection may be limited by access, condition, weather, or other safety concerns.
- \* Inspecting attached accessories including solar systems, antennae, and lightning arrestors is outside the scope of this inspection.

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**ELECTRICAL**

<b>Main Electrical Service</b>	Under Ground 200 Amps
<b>Main Disconnect Panel</b>	200 AMP W/ Breakers Located: Exterior, Utility Room
<b>Earth Ground</b>	Ground Rod (not visible)
<b>Wiring</b>	Non-Metallic Cable "Romex"
<b>Switches and Outlets</b>	Grounded
<b>GFCI / AFCI</b>	Kitchen Counters, Exterior, Garage, Bathrooms
<b>Smoke Alarms</b>	Hallways, Bedrooms, Bonus room

**- COMMENTS & OBSERVATIONS -**

**General Perspective**

Inspection of the electrical system revealed the need for repairs, as is typical of most homes. A licensed electrician should be consulted to address the deficiencies listed in the report.

**Main Disconnect Panel**

**Repair -** Sharp ended screws were observed at the main disconnect electrical panel cover.



**Wiring**

**Repair -** Extension cords were observed as permanent electrical wiring.



**Repair -** Improper and loose electrical connections were observed.



**Repair -** Abandoned electrical wiring was observed in the attic.



## ELECTRICAL (Continued)

**Repair -** All junction boxes should be fitted with cover plates.



**Repair -** Exposed wiring cable was observed on interior/exterior finishes.

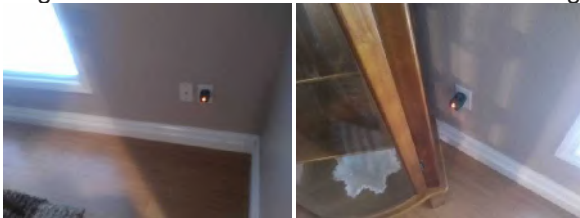


### Outlets

**Repair -** A GFCI electrical outlet was inoperable when 1st encountered and would not reset.



**Repair -** Ungrounded outlets were observed in the dining room.



**Repair -** An electrical outlet was damaged.



### Light Fixtures

**Repair -** A loose light fixture was observed.





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**ELECTRICAL (Continued)**

**- PERTINENT LIMITATIONS -**

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Electrical components concealed behind finished surfaces are not inspected.
- \* Only a representative sampling of outlets and light fixtures were tested.
- \* Furniture and/or storage restricted access to some electrical components which may not be inspected.
- \* The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, telephone, security, cable TN, intercoms, built in vacuum equipment, and other components which are not part of the primary electrical power distribution system.

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**PLUMBING**

<b>Service Piping</b>	PVC
<b>Water Shut Off Location</b>	Water Heater, Crawlspace
<b>Interior Supply Piping</b>	PVC
<b>Drain and Vent Piping</b>	PVC
<b>Gas Shut Off Location</b>	none

**- Water Heater Data -**

<b>Water Heater Manufacturer</b>	Rheem
<b>Build Date</b>	2015
<b>Model Number</b>	XE38S06ST45U1
<b>Serial Number</b>	Q391538074
<b>Size (approximate gallons)</b>	40
<b>Type</b>	Electric Element
<b>Water Heater Manufacturer</b>	Whirlpool
<b>Build Date</b>	Date Plate Illegible
<b>Size (approximate gallons)</b>	40
<b>Type</b>	Electric Element

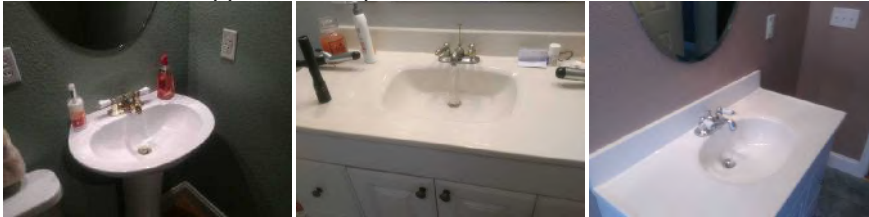
**- COMMENTS & OBSERVATIONS -**

**General Perspective**

The plumbing system required some typical minor improvements.

**Fixtures**

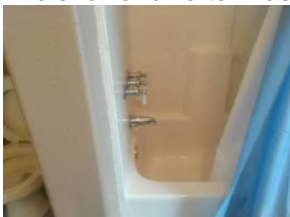
**Repair -** The sink drain stopper was inoperable. Downstairs hall bath



**Repair -** The tub drain stopper was inoperable.



**Repair -** The shower diverter was in operable upstairs hall bath room





## PLUMBING (Continued)

### Water Heater

**Repair -** The discharge piping serving the Temperature and Pressure Relief (TPR) Valve for the water heater was missing.



**Repair -** An active water leak was observed at the water heater casing.



### - PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- \* Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- \* Clothes washing machine connections are not inspected.
- \* Interiors of flues or chimneys which are not readily accessible are not inspected.
- \* Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, anti-siphon devices, automatic safety controls, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

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HVAC

Duct Work

Insulated Metal Trunk w/ Flex branch lines

- Data By System -

<b>Serviced Area</b>	1st Level
<b>System Type</b>	Package Unit with Heat Pump
<b>Temp. Fall (Delta T in Deg. F)</b>	15-20
<b>Temp. Rise (Delta T in Deg. F)</b>	Not Measured
<b>Exterior Unit Manufacturer</b>	Carrier
<b>Build Date</b>	2009
<b>Model Number</b>	50X2042311TP
<b>Serial Number</b>	0905G31388

<b>Serviced Area</b>	2nd Level
<b>System Type</b>	Split System Heat Pump
<b>Temp. Fall (Delta T in Deg. F)</b>	15-20
<b>Temp. Rise (Delta T in Deg. F)</b>	Not Measured
<b>Exterior Unit Manufacturer</b>	York
<b>Build Date</b>	2007
<b>Model Number</b>	YHJR30S41S3A
<b>Serial Number</b>	W1DO778376
<b>Interior Unit Manufacturer</b>	York
<b>Build Date</b>	2007
<b>Model Number</b>	F6FP030HH06T3XH
<b>Serial Number</b>	W1D038678

- COMMENTS & OBSERVATIONS -

General Perspective

The hvac system responded properly to standard controls.

Air Conditioner / Heat Pump

**Monitor -** The heat pump was operated in heat mode for a very limited time only due to the high exterior temperature. Operation in heating mode at these temperatures can cause compressor failure.

**Repair -** Rain shield was observed missing



**Repair -** Electrical connection on panel was observed loose



## HVAC (Continued)

**Repair -** The outdoor condensing unit of the air conditioning system were dirty.



**Repair -** A condensate line trap was not present at the HVAC air handler.



**Repair -** HVAC condensation drain drains into gutter on top of house



### Ductwork

**Repair -** The HVAC duct work was touching the ground in the crawlspace.



### - PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Window mounted HVAC units are not inspected.
- \* The cooling and heating supply adequacy or distribution balance are not inspected.
- \* The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.
- \* The interior of flues or chimneys which are not readily accessible are not inspected.
- \* The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- \* Solar space heating equipment/systems are not inspected.
- \* Automatic safety controls, humidifiers, electronic air filters, and air purifiers are not inspected.

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**INTERIOR**

<b>Walls and Ceilings</b>	Drywall
<b>Floors</b>	Carpet, Tile, Wood
<b>Windows</b>	Double/Single Hung
<b>Doors</b>	Wood-Hollow Core
<b>Fireplaces</b>	None

**- COMMENTS & OBSERVATIONS -**

**General Perspective**

The interior was in generally good conditions with standard wear and tear visible.

**Walls and Ceilings**

**Repair -** Minor wall board corner bead cracks were noted and are typical for a home of this age and style.



**Repair -** Damage to the interior wall board finish was observed.

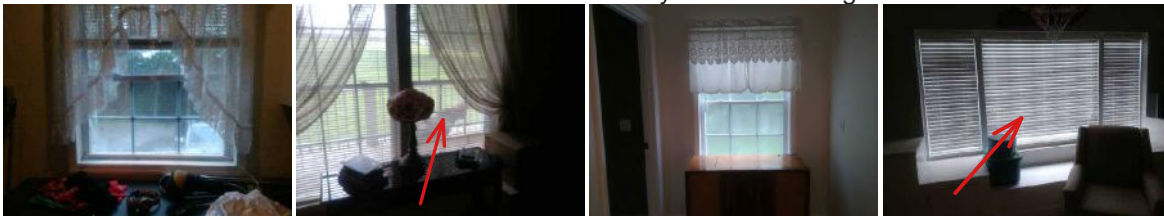


**Repair -** Unfinished Chase was observed



**Windows**

**Repair -** Condensation or haziness was observed between the layers of window glass at several locations.



**INTERIOR (Continued)**

**Repair -** Temper proof marks were not observed where required at windows.

**Doors**

**Repair -** Doors were observed to rub or contact each other.



**Repair -** Missing hinge screws were observed.



**Repair -**

**- PERTINENT LIMITATIONS -**

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

\* Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.

\* Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Assessing the quality and condition of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture.

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**INSULATION**

<b>Attic Insulation</b>	16 inches of loose insulation (Approx.).
<b>Exterior Wall Insulation</b>	Not Visible
<b>Crawl Space Insulation</b>	None Visible
<b>Moisture Barrier</b>	Incomplete Plastic in Crawlspace

**- COMMENTS & OBSERVATIONS -**

**General Perspective**

The insulation levels are typical for a home of this age.

**- PERTINENT LIMITATIONS -**

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- \* Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- \* An analysis of indoor air quality is not part of our inspection.
- \* Any estimates of insulation R values or depths are rough average values.

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**APPLIANCES**

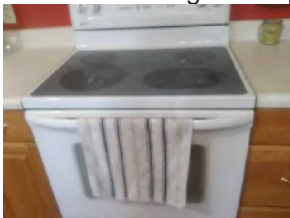
<b>Kitchen Appliances</b>	Electric Range, Dishwasher, , Refrigerator/ Freezer
<b>Laundry Facility</b>	120 Volt Washer Circuit, 240 Volt Dryer Circuit, Dryer Vent to the Exterior, Hot and Cold Water Hook-Up, Waste Standpipe for Washer

**- COMMENTS & OBSERVATIONS -**

**General Perspective**  
The appliances inspected operated properly.

**Kitchen Range**

**Repair -** The kitchen range anti-tip device is missing and should be installed.



**Repair -** A burner on the kitchen range is nonfunctional and should be made operable.



**Exhaust Hood**

**Repair -** No exhaust hood was present over range.



**Refrigerator/Freezer**

**Repair -** The refrigerator ice maker was off at the time of inspection. Proper operation of the unit should be demonstrated.



**Dishwasher**

**Repair -** The dishwasher waste water discharge hose should have a high loop installed under the kitchen sink.



## APPLIANCES (Continued)

((Rating)) (continued)



### Washer/Dryer

**Repair -** The clothes dryer exhaust vent is serviced by a flexible transition hose discharging into the crawl space. This hoses should only be used in the laundry room to connect the dryer to the exhaust vent system. The exhaust vent system should be of 4" rigid metal duct with an auto closing termination louver at the exterior. Leant clean up should be preformed in the crawlspace.

### - PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- \* Thermostats, timers and other specialized features and controls are not tested.
- \* 220 volt clothes dryer outlets are inspected visually only.
- \* The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Appliances are tested by turning them on for a short period of time only. It is strongly recommended that a Homeowners Warranty or service contract be purchased to cover the operation of appliances. It is further recommended that appliances be tested during any scheduled pre-closing walk through. Like any mechanical device, appliances can malfunction at any time (including the day after taking possession of the house).

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