

THI Premium Home Inspection Report



2425 Anywhere Dr
Nashville, TN 37206

Prepared for: Happy Client

Prepared by: Tennessee Home Inspectors LLC



Table of Contents

GENERAL INFORMATION	2
EXTERIOR	3
GROUNDS	4
STRUCTURE	5
ROOF	6
ELECTRICAL	7
PLUMBING	8
HVAC	9
INTERIOR	11
INSULATION	12
APPLIANCES	13
Summary	14



Tennessee Home Inspectors LLC

GENERAL INFORMATION

Inspector Name Aaron Schroer
Company Name Tennessee Home Inspectors LLC

- OVERVIEW -

This is a newly constructed Vacant Single family. As with all homes, maintenance is needed and improvements to the systems of the home will eventually be necessary.

For the purpose of this report, it is assumed that the house faces South.

Clear weather conditions prevailed at the time of the inspection.
The Estimated outside temperature was 40 degrees F.
Partly cloudy weather has been experienced in the days leading up to the inspection.

- RATINGS KEY -

- Repair - An element of the home that is damaged, missing or demonstrates improper installation.
- Monitor - An element of the home that should be observed over time as future repair is probable.
- Improve - A desirable enhancement of an element that was not required, or developed, at installation.
- Consult - An inquiry that should be made to the home owner or a trade specialist for further pertinent information.
- Safety - An element of the home with unsafe conditions in need of timely repair.
- Note - A benign, yet pertinent, observation about the property.

- SCOPE OF THE INSPECTION -

The purpose of the inspection to put a home buyer in a better position to make an educated buying decision in regards to the condition of the property. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Permitting history is not verified and is outside the scope of this report.

This inspection is only visual in nature. A representative sample of building components is viewed and operated in accessible areas at the time of the inspection. No specialized equipment or dismantling of building components is performed. Thus, this inspection is not "technically exhaustive".

The report does not address environmental hazards including: lead-based paint, radon, asbestos, cockroaches, rodents, pesticides, treated lumber, fungus, mercury, carbon monoxide, or other similar environmental hazards. Determination of environmental hazards is outside the scope of this inspection. If environmental hazards are suspected, a specialist in the field should be consulted for positive identification and remediation strategies.

This Home Inspection Report was conducted by Aaron Schroer TN HI Lic#1084 exclusively for Happy Client.

Signature

Please refer to The State of Tennessee Division of Regulatory Boards Rule # 0780-5-12-.10 Standards of Practice and the Inspection Authorization and Agreement for a full explanation of the scope of the inspection.



Tennessee Home Inspectors LLC

EXTERIOR

Wall Cladding	Hardboard Siding/Paneling
Eaves, Soffits, Fascias	Hardyboard
Window Frames	Vinyl
Doors	Composite

- COMMENTS & OBSERVATIONS -

General Perspective

The exterior of the home was in generally good condition with typical maintenance required.

Wall Cladding

- Repair -** Unsupported paneling was observed above the porch. Fasteners should be installed and joints should be caulked and painted to match.
- Repair -** Damaged siding was observed and should be replaced to match.
- Repair -** Gaps were observed at siding. It should be made to lay flat.
- Repair -** Gaps and nail heads were observed around siding penetrations. The should be sealed and painted to match.
- Repair -** Siding paint was observed to be thin. Additional coats are recommended.

Windows and Doors

- Repair -** The door bell was inoperable. Proper operation should be demonstrated.
- Repair -** Missing window screens were observed. They should be replaced.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * A representative sample of exterior components was inspected rather than every occurrence of components.
- * The presence of safety glazing in doors and windows is not confirmed.
- * A representative sample of exterior components was inspected rather than every occurrence of components.
- * Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- * The presence of and/or proper operation of garage door operator remote control transmitters is not confirmed.

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GROUNDS

Lot	Sloping
Driveway	Concrete
Walkway	Concrete
Porch, Patio	Concrete
Deck	Wood
Fence	Wood

- COMMENTS & OBSERVATIONS -

General Perspective

The lot and the articles related to the property grounds were in generally good condition with typical maintenance required.

Deck

- Repair -** Deck rim joist to post junctions were inadequate. The ledger is currently nailed only. Nails are subject to withdrawal over time. The deck support posts should be secured to the deck rim joist with lag bolts or proper connection brackets with screw fasteners.
- Repair -** Securement of the steps to the house was inadequate. Lag bolts should be installed.
- Repair -** Deck posts were not in contact with the ledger board or offering support. Shim material or new posts are needed.
- Repair -** Wood to soil contact was observed at the deck. Contact should be eliminated to extend the life of the wood. It is noted the material is most likely exterior grade lumber but should be also rated for ground contact to be in continuous ground contact service.
- Repair -** Inadequate support was observed at the deck floor joists. They should bear on a ledger or should be mounted to the rim joist/deck ledger with framing hangers. Proper framing hangers or a 2x2 ledger should be installed.

Landscaping

- Repair -** The tree in the back yard is damaged and hollow in the center. An arborist should evaluate for health and viability of the tree. Branch trimming or removal may be required.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * A representative sample of exterior components was inspected rather than every occurrence of components.
- * The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- * Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- * Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities) are outside the scope of this inspection.
- * Detached buildings or structures are outside the scope of this inspection

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STRUCTURE

Foundation	Concrete Block
Columns	Concrete Block Pier
Floor	I-Joists, Wood Girders
Sub-Floor	Oriented Strand Board
Walls	Wood Framed
Ceiling	Joists
Roof	Rafters, OSB Sheathing

- COMMENTS & OBSERVATIONS -

General Perspective

Significant evidence of movement within the building was not observed suggesting stability of the structure.

Foundations

Repair - Minor foundation cracks were observed at the front corner. This implies that some settlement of the building or seasonal expansion has occurred. Cracks of this type should be filled and monitored. In the absence of evidence of ongoing movement, structural repair should not be necessary.

Columns Piers and Posts

Repair - Wood shims of less than 2x lumber thickness were observed at the girder to pier junction. Thin wood shims are subject to compression which can result in structural movement. A standard repair would be to replace wood shims of less than 2x thickness with steel plates of proper thickness.

Repair - Unsupported girder spans were observed in the crawlspace. Metal shims or full thickness "2x" wood material with accompanying metal shims should be installed to transfer load from the floor structure to the foundation piers to help ensure floor stability.

Crawl Space

Repair - The positive drain in the crawlspace should be fitted with a perforated cover to prevent vermin egress.

- PERTINENT LIMITATIONS -

Assessing the structural integrity of a building is beyond the scope of a standard home inspection. A certified licensed structural Professional Engineer (P.E.) is recommended where there are structural concerns about the building.

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Structural components concealed behind finished surfaces could not be inspected.
- * Only a representative sampling of visible structural components were inspected.
- * Furniture and/or storage restricted access to some structural components.
- * Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection

Please refer to The State of Tennessee Division of Regulatory Boards Rule # 0780-5-12-.10 Standards of Practice and the Inspection Authorization and Agreement for a full explanation of the scope of the inspection.



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ROOF

Vent Types	Ridge and Soffit
Method of Roof Inspection	Viewed with binoculars, Walked on roof
Surface Type	Asphalt/Composite Shingles
Approximate Age (Years)	1 Year
Number of Layers	1
Gutter & Downspout Materials	Aluminum
Gutter Discharge	Downspouts discharge above & below grade
Flashings	Metal

- COMMENTS & OBSERVATIONS -

General Perspective

Wear levels were typical of roof surfaces of this age. Minor repairs should be preformed to extend the useful life of the roof.

Sloped Roofing

- Repair** - Cardboard was protruding from shingles at the fireplace bump-out. It should be removed.
- Repair** - Damaged roof shingles were observed. A licensed roofing contractor should be contacted to repair as necessary.

Gutters and Downspouts

- Repair** - Upper level gutters were observed to drain on lower level roof surfaces. This typically results in premature shingle wear and soft decking. Upper level gutters should be made to discharge directly into lower level gutters.
- Repair** - Loose or damaged downspouts were observed and should be secured or repaired.
- Monitor** - The downspouts that appeared to discharge below grade level should be monitored and ensured to drain properly. Foundation leakage adjacent to a downspout is an indication of a potential problem below grade.
- Repair** - The gutter downspout was in an inconvenient place in relation to the fence gate and may pose difficulty in bringing in lawn maintenance equipment. The downspout should be relocated to the corner or discharge to an underground extension that terminates at a lower elevation to permit ease of gate use.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- * Evidence of prior leaks may be disguised by interior finishes.
- * Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- * Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- * Roof inspection may be limited by access, condition, weather, or other safety concerns.
- * Inspecting attached accessories including solar systems, antennae, and lightning arrestors is outside the scope of this inspection.

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ELECTRICAL

Main Electrical Service	Over Head 200 Amps
Main Disconnect Panel	200 AMP W/ Breakers Located: Exterior
Earth Ground	Ground Rod (not visible)
Sub-Panels	Panel Rating: 90 Amp Breakers Located:
Wiring	Non-Metallic Cable "Romex"
Switches and Outlets	Grounded
GFCI / AFCI	Kitchen Counters, Exterior, Bathrooms
Smoke Alarms	Hallways, Bedrooms, 1st Level, 2nd Level

- COMMENTS & OBSERVATIONS -

General Perspective

The electrical system was observed to be in good working order.

Switches

Repair - The light switch was located behind the door when entering the laundry room. This is inconvenient and the switch should be moved and be operable upon entry without closing the door.

Light Fixtures

Repair - The light was inoperable at the living room, front bedroom closet, and kitchen island. The bulb should be replaced. If the bulb is not blown, the circuit should be investigated and made operable.

Repair - The missing/damaged light shade should be replaced at the hall bathroom.

Smoke Alarms

Repair - The construction dust cover was present and should be removed from the smoke detector.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Electrical components concealed behind finished surfaces are not inspected.
- * Only a representative sampling of outlets and light fixtures were tested.
- * Furniture and/or storage restricted access to some electrical components which may not be inspected.
- * The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, telephone, security, cable TN, intercoms, built in vacuum equipment, and other components which are not part of the primary electrical power distribution system.

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PLUMBING

Service Piping	Pex
Water Shut Off Location	Meter, Water Heater
Interior Supply Piping	PEX
Drain and Vent Piping	PVC
Gas Shut Off Location	Meter

- Water Heater Data -

Water Heater Manufacturer	Rinnai
Build Date	2016
Model Number	REUVC2528FFUDUS
Serial Number	HCCA036033
Size (approximate gallons)	Tankless
Type	Gas Direct Vent

- COMMENTS & OBSERVATIONS -

General Perspective

The piping system within the home, for both supply and waste, was observed to be a good quality system., The plumbing system required some typical minor improvements.

Fixtures

- Repair -** The hose bib handle was missing or damaged and should be replaced.
- Repair -** Cracks were observed in the tile grout at the shower floor and wall. They should be sealed.
- Repair -** The shower floor was not pitched towards the drain and was observed to slope back towards the wall.
- Repair -** The shower head was leaky when operated. It should be removed and re-installed with Teflon tape at the point of leak.

Gas Plumbing

- Repair -** Gas line penetrations should be sealed.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- * Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- * Clothes washing machine connections are not inspected.
- * Interiors of flues or chimneys which are not readily accessible are not inspected.
- * Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, anti-siphon devices, automatic safety controls, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

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HVAC

Duct Work

Insulated Flex

- Data By System -

Serviced Area

2nd Level

System Type

Split System Heat Pump

Temp. Fall (Delta T in Deg. F)

Not Measured

Temp. Rise (Delta T in Deg. F)

15-20

Exterior Unit Manufacturer

Trane/American Standard

Build Date

2016

Model Number

4TWR4024G1000AA

Serial Number

16233T8MBF

Interior Unit Manufacturer

Trane/American Standard

Build Date

2016

Model Number

TEM4A0B24S21SAA

Serial Number

161552922V

Serviced Area

1st Level

System Type

Split system with Gas Furnace

Temp. Fall (Delta T in Deg. F)

Not Measured

Temp. Rise (Delta T in Deg. F)

30+

Exterior Unit Manufacturer

Trane/American Standard

Build Date

2016

Model Number

4TTR4024L1000AA

Serial Number

16244HHSFAF

Interior Unit Manufacturer

Trane/American Standard

Build Date

2016

Model Number

TUC1B060A9361AF

Serial Number

16151NLL2G

Combustion Exhaust Vent

Plastic

- COMMENTS & OBSERVATIONS -

General Perspective

The hvac system responded properly to standard controls.

Ductwork

Repair - Duct work insulation was pulling away at the attic unit. It should be secured in place.



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HVAC (Continued)

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Window mounted HVAC units are not inspected.
- * The cooling and heating supply adequacy or distribution balance are not inspected.
- * The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.
- * The interior of flues or chimneys which are not readily accessible are not inspected.
- * The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- * Solar space heating equipment/systems are not inspected.
- * Automatic safety controls, humidifiers, electronic air filters, and air purifiers are not inspected.

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INTERIOR

Walls and Ceilings	Drywall
Floors	Tile, Wood
Windows	Double/Single Hung, Double Glazed, Fixed Pane
Doors	Wood-Hollow Core
Fireplaces	Prefab w/ Vent less Gas Logs

- COMMENTS & OBSERVATIONS -

General Perspective

The home is new. Some details were observed to be in an unfinished state. The buyer has marked aesthetic deficiencies with blue tape that should be addressed.

Walls and Ceilings

Repair - Cosmetic issues identified by the buyer with blue tape should be addressed.

Repair - Unfinished Drywall details were observed in the laundry room.

Windows

Repair - Temper proof marks were not observed. Tempered glass should be present at all windows near swinging doors and around stairs.

Doors

Repair - Door handset plungers were observed to contact trim throughout the home.

Repair - The door handset was missing and should be replaced at the back bedroom closet.

Repair - The door stop screw was stripped at the bedroom.

Repair - The displaced door should be reinstalled.

Repair - Door stoppers should be added where missing at the master bedroom water closet.

Fireplace

Repair - The gas log would not light at the time of inspection as the valve was clogged with dust. Proper operation of the unit should be demonstrated.

Bathroom Cabinets

Repair - Missing closet rod was observed in the middle bedroom and coat closet and should be installed to match.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

* Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.

* Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Assessing the quality and condition of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture.

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INSULATION

Attic Insulation	10-12 inches of loose insulation (Approx.)
Exterior Wall Insulation	Not Visible
Crawl Space Insulation	Expanding Foam Insulating on Walls
Moisture Barrier	Plastic in Crawlspace

- COMMENTS & OBSERVATIONS -

Attic

- Repair -** The attic hatch ladder was too short. It should be replaced.
- Repair -** Inadequate attic insulation levels were measured. Current recommended attic insulation levels are R-38 or approx. 15-16" of loose blown fiberglass.

Crawl Space

- Repair -** The expanding foam insulation was installed all the way to the sill-plate. This can allow for undetected termite infestation. Best practices entails leaving a 4 inch strip of Uninsulated concrete block at the top of the foundation to allow for termite inspection and clearance letters.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- * Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- * An analysis of indoor air quality is not part of our inspection.
- * Any estimates of insulation R values or depths are rough average values.

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APPLIANCES

Kitchen Appliances	Gas Range, Range Hood, Dishwasher, Garbage Disposal, Microwave Oven
Laundry Facility	120 Volt Washer Circuit, 240 Volt Dryer Circuit, Dryer Vent to the Exterior, Hot and Cold Water Hook-Up, Waste Standpipe for Washer

- COMMENTS & OBSERVATIONS -

General Perspective
The appliances are new and operated properly.

- PERTINENT LIMITATIONS -

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- * Thermostats, timers and other specialized features and controls are not tested.
- * 220 volt clothes dryer outlets are inspected visually only.
- * The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Appliances are tested by turning them on for a short period of time only. It is strongly recommended that a Homeowners Warranty or service contract be purchased to cover the operation of appliances. It is further recommended that appliances be tested during any scheduled pre-closing walk through. Like any mechanical device, appliances can malfunction at any time (including the day after taking possession of the house).

Please refer to The State of Tennessee Division of Regulatory Boards Rule # 0780-5-12-.10 Standards of Practice and the Inspection Authorization and Agreement for a full explanation of the scope of the inspection.

Summary

EXTERIOR

1. Repair - Unsupported paneling was observed above the porch. Fasteners should be installed and joints should be caulked and painted to match.



2. Repair - Damaged siding was observed and should be replaced to match.



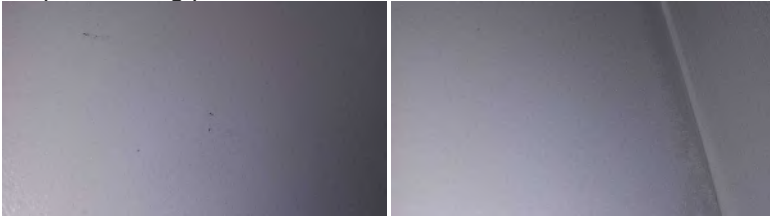
3. Repair - Gaps were observed at siding. It should be made to lay flat.



4. Repair - Gaps and nail heads were observed around siding penetrations. The should be sealed and painted to match.



5. Repair - Siding paint was observed to be thin. Additional coats are recommended.



6. Repair - The door bell was inoperable. Proper operation should be demonstrated.



Summary (Continued)

7. Repair - Missing window screens were observed. They should be replaced.

GROUNDINGS

8. Repair - Deck rim joist to post junctions were inadequate. The ledger is currently nailed only. Nails are subject to withdrawal over time. The deck support posts should be secured to the deck rim joist with lag bolts or proper connection brackets with screw fasteners.



9. Repair - Securement of the steps to the house was inadequate. Lag bolts should be installed.



10. Repair - Deck posts were not in contact with the ledger board or offering support. Shim material or new posts are needed.



11. Repair - Wood to soil contact was observed at the deck. Contact should be eliminated to extend the life of the wood. It is noted the material is most likely exterior grade lumber but should be also rated for ground contact to be in continuous ground contact service.



12. Repair - Inadequate support was observed at the deck floor joists. They should bear on a ledger or should be mounted to the rim joist/deck ledger with framing hangers. Proper framing hangers or a 2x2 ledger should be installed.



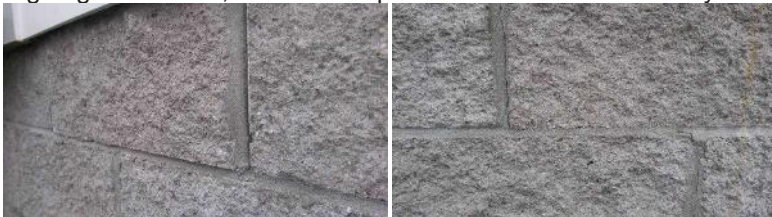
13. Repair - The tree in the back yard is damaged and hollow in the center. An arborist should evaluate for health and viability of the tree. Branch trimming or removal may be required.

GROUNDS (Continued)



STRUCTURE

14. Repair - Minor foundation cracks were observed at the front corner. This implies that some settlement of the building or seasonal expansion has occurred. Cracks of this type should be filled and monitored. In the absence of evidence of ongoing movement, structural repair should not be necessary.



15. Repair - Wood shims of less than 2x lumber thickness were observed at the girder to pier junction. Thin wood shims are subject to compression which can result in structural movement. A standard repair would be to replace wood shims of less than 2x thickness with steel plates of proper thickness.



16. Repair - Unsupported girder spans were observed in the crawlspace. Metal shims or full thickness "2x" wood material with accompanying metal shims should be installed to transfer load from the floor structure to the foundation piers to help ensure floor stability.
17. Repair - The positive drain in the crawlspace should be fitted with a perforated cover to prevent vermin egress.



ROOF

18. Repair - Cardboard was protruding from shingles at the fireplace bump-out. It should be removed.



Summary (Continued)

19. Repair - Damaged roof shingles were observed. A licensed roofing contractor should be contacted to repair as necessary.



20. Repair - Upper level gutters were observed to drain on lower level roof surfaces. This typically results in premature shingle wear and soft decking. Upper level gutters should be made to discharge directly into lower level gutters.



21. Repair - Loose or damaged downspouts were observed and should be secured or repaired.

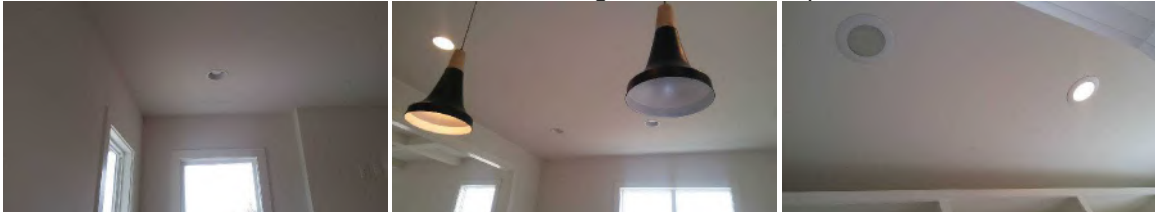


22. Monitor - The downspouts that appeared to discharge below grade level should be monitored and ensured to drain properly. Foundation leakage adjacent to a downspout is an indication of a potential problem below grade.
23. Repair - The gutter downspout was in an inconvenient place in relation to the fence gate and may pose difficulty in bringing in lawn maintenance equipment. The downspout should be relocated to the corner or discharge to an underground extension that terminates at a lower elevation to permit ease of gate use.



ELECTRICAL

24. Repair - The light switch was located behind the door when entering the laundry room. This is inconvenient and the switch should be moved and be operable upon entry without closing the door.
25. Repair - The light was inoperable at the living room, front bedroom closet, and kitchen island. The bulb should be replaced. If the bulb is not blown, the circuit should be investigated and made operable.



Summary (Continued)

26. Repair - The missing/damaged light shade should be replaced at the hall bathroom.



27. Repair - The construction dust cover was present and should be removed from the smoke detector.



PLUMBING

28. Repair - The hose bib handle was missing or damaged and should be replaced.



29. Repair - Cracks were observed in the tile grout at the shower floor and wall. They should be sealed.



30. Repair - The shower floor was not pitched towards the drain and was observed to slope back towards the wall.



31. Repair - The shower head was leaky when operated. It should be removed and re-installed with Teflon tape at the point of leak.



Summary (Continued)

32. Repair - Gas line penetrations should be sealed.



HVAC

33. Repair - Duct work insulation was pulling away at the attic unit. It should be secured in place.



INTERIOR

34. Repair - Cosmetic issues identified by the buyer with blue tape should be addressed.
35. Repair - Unfinished Drywall details were observed in the laundry room.



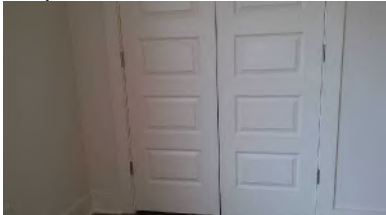
36. Repair - Temper proof marks were not observed. Tempered glass should be present at all windows near swinging doors and around stairs.



37. Repair - Door handset plungers were observed to contact trim throughout the home.



38. Repair - The door handset was missing and should be replaced at the back bedroom closet.



Summary (Continued)

39. Repair - The door stop screw was stripped at the bedroom.



40. Repair - The displaced door should be reinstated.



41. Repair - Door stoppers should be added where missing at the master bedroom water closet.

42. Repair - The gas log would not light at the time of inspection as the valve was clogged with dust. Proper operation of the unit should be demonstrated.



43. Repair - Missing closet rod was observed in the middle bedroom and coat closet and should be installed to match.



INSULATION

44. Repair - The attic hatch ladder was too short. It should be replaced.



45. Repair - Inadequate attic insulation levels were measured. Current recommended attic insulation levels are R-38 or approx. 15-16" of loose blown fiberglass.



Summary (Continued)

46. Repair - The expanding foam insulation was installed all the way to the sill-plate. This can allow for undetected termite infestation. Best practices entails leaving a 4 inch strip of Uninsulated concrete block at the top of the foundation to allow for termite inspection and clearance letters.

